



# NEW CONSTRUCTION STAGE PROPERTY INSPECTION REPORT AS4349.0-2007



Clear View Property Inspections
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Table with 2 columns: Field Name, Value. Fields include Report Number, Inspection Date, and Property Address.

SERVICE

As requested and agreed with the Client, the inspection carried out by the Building Consultant for the purpose of an agreed new construction stage inspection comprising of a property report.

“Client” means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

“Building Consultant” means a person, business or company who is qualified and experienced to undertake a building inspection in accordance with Australian Standard AS 4349.0-2007 Inspection of Buildings. The consultant must also meet any Government licensing requirement, where applicable.

This new construction stage inspection was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

TERMS ON WHICH THIS REPORT WAS PREPARED

PROPERTY REPORT

PURPOSE OF INSPECTION

The purpose of this inspection is to provide advice to the Client regarding the construction of the Building & Site at the time of inspection. This report is NOT an all-encompassing report dealing with the building from every aspect, yet it is a reasonable attempt to identify any obvious, visible or significant defects and or incomplete works visually apparent to the dwelling at the time of this scoped inspection.

SCOPE OF INSPECTION

The purpose and scope of the inspection selected by you (the client) is for the assessment of Quality and assurance of the selected construction stage inspection. The report will contain photographic evidence and comments of any visible findings found at the time of our inspection. This report is NOT a certificate of Compliance with the requirements of any Regulation, Standard, Ordinance or By-law.

INSPECTION PROCESS

The inspection process is a visual inspection only. The inspection will only cover the selected new construction stage inspection and only report on its findings on the day of the inspection. We will compare the construction works onsite with the approved construction drawings and report on any discrepancies.



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#### LIMITATIONS

The Report is not a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by law or as a warranty or an insurance policy against problems developing with the building in the future. The inspection is a third-party inspection and only should be considered as an additional inspection to help with the Quality and Assurance during the construction process. Ultimately the full responsibility and liability lay with the Builder, Engineers, Certifiers. The Inspection and Report WILL NOT report on any defects which may not be apparent due to prevailing weather conditions at the time of inspection. Such defects may only become apparent in differing weather conditions.

**NOTE: All builders are to warrant their work under part 2C, section 18B of the Home Building Act 1989.**

This warranty towards the building work and practice must also be met as part of the building contracts obligations.

In the event this warranty is not met then you, the client, (the homeowner) subject to legal advice, have rights to enforce this Act, refer below:

#### **The Home Building Act:**

*(18B Warranties as to residential building work, the following warranties by the holder of a contractor license, or a person required to hold a contractor license before entering a contract, are implied in every contract to do residential building work.)*

- (a) A warranty that the work will be performed with **due care and skill** and in accordance with the plans and specifications set out in the contract, (2015)
- (b) A warranty that all materials supplied by the holder or person will be **good and suitable for the purpose** for which they are used and that, unless otherwise stated in the contract, those materials will be new,
- (c) A warranty that the work will be done in accordance with, and **will comply with, this or any other law**,
- (d) A warranty that the work will be done with due diligence and **within the time stipulated** in the contract, or if no time is stipulated, within a reasonable time,
- (e) A warranty that, if the work consists of the construction of a dwelling, the making of alterations or additions to a dwelling or the repairing, renovation, decoration or protective treatment of a dwelling, the work will result, to the extent of the work conducted, in a dwelling that is **reasonably fit for occupation** as a dwelling,
- (f) A warranty that the work and any materials used in doing the work will be **reasonably fit for the specified purpose** or result, if the person for whom the work is done expressly makes known to the holder of the contractor license or person required to hold a contractor license, or another person with express or apparent authority to enter into or vary contractual arrangements on behalf of the holder or person, the particular purpose for which the work is required or the result that the owner desires the work to achieve, so as to show that the owner relies on the holder's or person's skill and judgment.

#### Special Conditions or instructions

Special conditions or instructions No

#### The parties

Pre-engagement inspection agreement number:

Name of Client:

Address of Client:

Client's email:

Client's telephone number:



## RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

### PROPERTY REPORT - SUMMARY

Type of Inspection Completed	Lock-Up/ Waterproofing
Have Architectural and/or Structural Engineering Plans been provided for this inspection:	Yes
<p>It is the responsibility of you (the client) to provide us (the inspector) with a full set of construction and engineering drawings for us to compare the construction drawings to what is being built on site.          Without these drawing we can Not comment on incorrect home and room dimensions, specified levels, engineer specifications and any relevant Australian Standards that has been referenced for the project.</p>	
Prevailing weather conditions at the time of inspection:	Dry
In respect of significant items:	
Was there any MAJOR DEFECTS evident from this inspection?	Yes
Was there any MINOR DEFECTS evident from this inspection?	Yes

**Definition of defective and Major Defect:** marked by subnormal structure or function, incomplete and or deficient. Defect is a general word for any kind of shortcoming or imperfection,

S.18E (4) of the Home Building Act 1989 defines "major defect" as: "**major defect**" means:

- (A) a defect in a major element of a building that is attributable to defective design, defective or faulty workmanship, defective materials, or a failure to comply with the structural performance requirements of the National Construction Code (or any combination of these), and that causes, or is likely to cause:
  - (i) the inability to inhabit or use the building (or part of the building) for its intended purpose, or
  - (ii) the destruction of the building or any part of the building, or
  - (iii) a threat of collapse of the building or any part of the building, or
- (B) a defect of a kind that is prescribed by the regulations as a major defect.

**Note:** The definition of "**major defect**" also applies for the purposes of section 103B (Period of cover.)

**Note:** The definition of a "**minor defect**" is anything other than a major defect.

**Definition of Major Element:** S.18E (4) of the Home Building Act 1989 defines "major element" as: "**major element**" of a building means:

- (a) an internal or external load-bearing component of a building that is essential to the stability of the building, or any part of it (including but not limited to foundations and footings, floors, walls, roofs, columns and beams), or
- (b) a fire safety system, or
- (c) waterproofing, or
- (d) any other element that is prescribed by the regulations as a major element of a building.

**Definition of non-compliant:** deficient in part, not finished in its intended proper form or required Australian Standard and or Building Code, works that are to be completed as per relevant Australian Standards and or Codes,

**Definition of incomplete:** not complete, not developed as intended, imperfect, not constructed and rendered inconsistent, works that are yet to be completed as was originally intended and lacking in part,



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**Definition of as intended:** a planned thought out and proposed strategic process,

**Definition of water-resistant:** an application able to resist the penetration of water to some degree but not entirely,

**Intended Purpose:**

Intended purpose means that what is proposed and/or anticipated for a particular purpose or position in residential construction, MUST be provided. In the event it is not provided, then a dispute can arise and must be proven otherwise. If not, then such dispute cannot be resolved without an Alternative Solution that complies with Performance Provisions in compliance with the (BCA) Building Code of Australia and the (NCC) National construction Code.

**Restitution:**

Should a builder not agree to rectification works associated with this inspection report, then individuals have rights to seek restitution. This is not compensation as such compensation if it was paid, does not rectify the incomplete or defective works found. Acknowledgment is to be provided by the builder to ensure their intent is to complete these works as originally intended and under appropriate supervision.

**Surface Water Drainage:**

**Subject to the Builders Contractual Obligations:** the retention of water from surface run off and overland surface flow could influence this dwellings foundation material which in turn could affect the slabs intended performance to this as inspected property.

Builders best practice during construction and prior to PCI handover is to monitor the flow of surface water and stormwater run-off and have the water directed away from the house and then into appropriate stormwater pipes installed by a qualified and licensed Plumber & Drainer. (Some circumstances will require a Hydraulic Engineer to design a drainage system suitable for properties.)

**DRAINAGE DESIGN REQUIREMENTS (subject to the Builder's contractual obligations)**

**5.2.1 General requirements:** The building and site drainage design and height of the floor level above finished ground level may be affected by factors other than structural design requirements.

Such factors include the following:

- (a) The run-off of water and the influence of local topography.
- (b) The effect of excavation or filling.
- (c) The possibility of flooding.
- (d) The effects of existing and post-construction landscaping.
- (e) The level of legal point of stormwater discharge.

**Defects found are categorized into the following areas below:**

**SHOWN IN EACH ITEM AS FOLLOWS:**

- A- Damage:** *(visual disruption resulting in loss of value or the impairment of usefulness,)*
- B- Distortion, Warping and Twisting:** *(a change in the shape of an image resulting from imperfections,)*
- C- Water penetration:** *(the egress or entry of forms of water and dampness,)*
- D- Material deterioration:** *(alteration and a decline of the products original intended finish,)*
- E- Operational:** *(not fit for proper functioning and /or ready for intended use,)*
- F- Installations & Appearance:** *(inappropriate fitting and finish of a products intended use)*
- G- Incomplete Works:** *(works that are yet to be completed as was originally intended and lacking in part)*
- H- Safety:** *(a duty to report on these issues to bring it to the attention to the Homeowner)*
- I- Defective Works:** *(marked by subnormal structure or function and a general word for a kind of imperfection)*



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**J- Non-Compliant Works:** (works that are to be completed as per relevant Australian Standards and or Codes)

**K- General Maintenance Works:** (works that are to be carried out by the Homeowner)

**L- Inconsistent Works:** (items not the same throughout and having self-contradictory and conflicting elements)

1/ Reference to any cracking of building elements for your future in this property

**Ref: Relevant Australian Standards (if applicable)**

**Cracking Categories:** Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:  
Cracks over Category 2 an Engineer to certify

**0-**Hairline cracking, less than 0.1mm,

**1-**Fine cracks that do not need repair, less than 1.0mm,

**2-**Noticable cracks, yet easily filled 1mm - 5.0mm,

**3-**Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Note weather tightness can be impaired, 5.0mm -15.0mm,

**4-**Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

**SAFETY NOTE: Two story properties only**

2/ Top floor (if applicable) bedroom windows in two story homes, more than 2.0meters off the surface below must have non-removable screens fitted or a child resistant devise fitted to prevent windows from opening more than 125mm. (For all kid's protection)

**OBSTRUCTIONS**

Were there any obstructions that may conceal possible defects?	There were no obstructions
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**PROPERTY REPORT**

The following items and matters were reported on in accordance with the Scope of Inspection.

INSPECTION FINDINGS:



**Location:** All bathrooms and ensuites

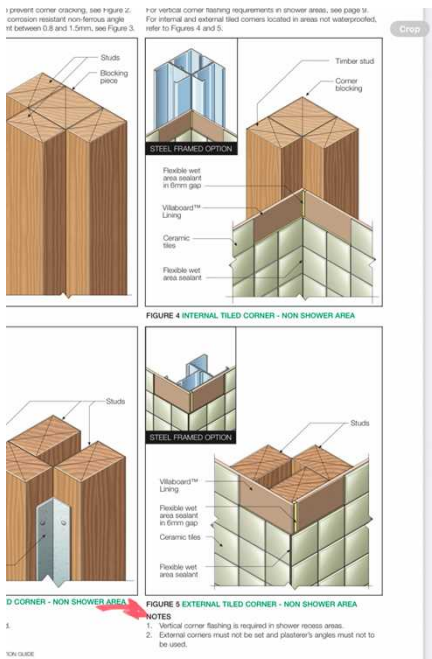
**Details:** Villaboard wall sheets have not been installed as per manufacturer's requirements.

James Hardie requires 6mm gaps at all junctions for thermal expansion which should be filled with suitable caulking.

Not complying with installation manual voids the product warranty from James Hardie.

I recommend talking to James Hardie reps as this has been done from multiple builders, they will confirm product warranty will be void.

**Recommendation:** All internal corners and external corners, both in wet and not wet areas (bathrooms) must have all base coat removed and paper tape and be replaced with joint sealer.





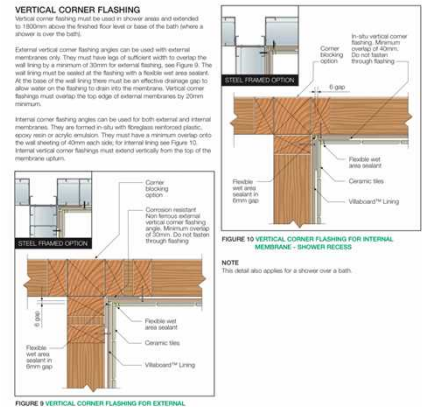
**Location:** Example of main bedroom ensuite. Defect applies to all bathrooms and ensuite.

**Details:** Metal external corner installed to wet area , internal corners based coated and set with paper tape.

This is not consistent with James Hardie installation requirements.

**Recommendation:** All external corners and internal corners must be leaned from base coat , metal corners and paper tape and be replaced with caulking as per James Hardie instructions manual.





**VERTICAL CORNER FLASHING**  
Vertical corner flashing must be used in shower areas and extended to 300mm above the finished floor level or base of the bath where a shower is over the bath.

External vertical corner flashing angles can be used with external membranes only. They must have top of sufficient width to overlap the wall lining by a minimum of 30mm for external flashing, see Figure 9. The wall lining must be sealed at the flashing with a flexible seal area sealant. At the base of the wall lining there must be an effective drainage gap to allow water on the flashing to drain into the membrane. Vertical corner flashings must overlap the top edge of external membranes by 20mm minimum.

Internal corner flashing angles can be used for both external and internal membranes. They are formed flush with fibreglass reinforced plastic epoxy resin or acrylic emulsion. They must have a minimum overlap onto the wall lining of 30mm each side. For internal lining see Figure 10. Internal vertical corner flashings must extend vertically from the top of the membrane up to the ceiling.

**NOTE**  
This detail also applies for a shower over a bath.

**FIGURE 9 VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE - SHOWER RECESS**

**Location:** All bathrooms and ensuites.

**Details:** All junctions internal and sheet junctions have been set and paper taped.

This is a breach of the James Hardie requirement but also the AS3740-2010 waterproofing.

All junctions must be caulked to create a water resistant junction.

Paper tape and base coat is not water resistant.

Approved water resistant substrates below and junction requirements.

As per AS3740-2010  
Clause 2.4.2 water resistant substances

The following materials used in waterproofing systems, in conjunction with water resistant surface materials in accordance with Clause 2.4.3, are deemed to be water resistant:

- A) Walls
  - i) concrete in accordance with AS3600, treated to resist moisture movement
  - ii) cement render treated to resist moisture movement
  - iii) fibre cement manufactured in accordance with AS2908.2
  - iv) water resistant plasterboard sheeting manufactured in accordance with AS 3700

Clause 3.9.1.1 General


The following list specifies the minimum requirements for the treatment for various junctions. Junctions may be either wall to floor or wall to wall. Either the floor or wall may be waterproof, water resistant or have no treatment specified.

The types of junctions that shall be used are as follows

- A) Type 1-where waterproof to waterproof surfaces meet, the waterproofing shall be continuous across the junction and, where required, incorporate and appropriate bond breaker.
- C) Type 3- Where a water resistant to water resistant surfaces meet, a bead of sealant shall be deemed to be a water resistant junction.

**Recommendation:** All waterproofing to re-completed at all junctions and require repairs.

The waterproofing has not stuck at junctions and peels off quite easily.





**Location:** All bathrooms and ensuite

**Details:** Example of waterproofing peeling off quite easily and no caulking or bond breaker as per manufacturer requirements.

**Recommendation:** All junctions included soap recesses in bathroom walls must be exposed and remove all paper tape and base coat prior to re-completing waterproofing.





**Location:** Bathrooms and ensuites.

**Details:** Example of paper tape junctions to internal corners and sheet junctions.

The waterproofing peels of very easily in these locations,  
All areas to be fixed as per James Hardie sheet installation requirements and AS3740-2010 waterproofing requirements.  
Junctions must be type 1 and type 3.

A) Type 1-where waterproof to waterproof surfaces meet , the waterproofing shall be continuous across the junction and, where required , incorporate and appropriate bond breaker.

C) Type 3- Where a water resistant to water resistant surfaces meet , a bead of sealant shall be deemed to be a water resistant junction.

**Recommendation:** All waterproofing to be repaired as per previous.



**Location:** Waterproofing product used onsite.

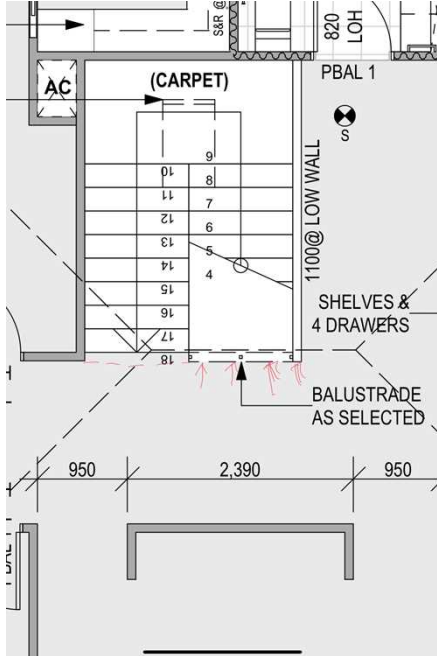
**Details:** As per this product and all products on the market all sheet junctions vertical and horizontal must have a bond breaker.

As mentioned in the data sheet, the sheet must be installed as per manufacturer's requirements.



The other item I would like to share is the product recommends bandage be used on all junctions for optimum performance. This is consistent with the other products on the market.

**Recommendation:** When waterproofing is repaired it must comply with the waterproofing installation manual.



**Location:** Balustrade junction to dwarf wall.

**Details:** The design is different to what is on the architectural. Recommend HnH have a site meeting with [redacted] to discuss potential rectifications she will be happy with.

**Recommendation:** Suggestions below.

Alignment may be able to be adjusted so it aligns with the end of the dwarf wall . As per architectural.

Also if the height of the post abutting the dwarf wall is higher so it matches the same height I believe this would be a neater finish.



**Location:** Powder room.

**Details:** Examples of all junctions and sheet joins with paper tape and base coated.

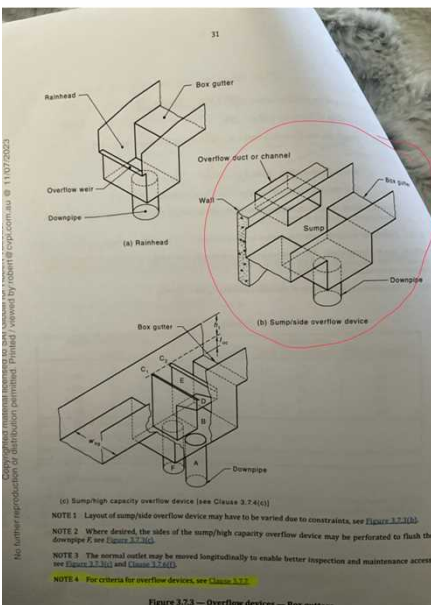
No bandage used on any junctions.

**Recommendation:** All waterproofing junctions to be rectified as per James Hardie installation manual, AS3740-2010 and waterproofing product installation requirements.





11 wide may be used for domestic construction.



**Location:** Front lower roof with box gutter.

**Details:** The design of the box gutter does not seem compliant with AS3500.3 plumbing and drainage.

No sump or overflow integrated in the design.

Snippet below of requirements.

Clause 3.7.6 Layout

e) for the sump/high capacity overflow device , the depth of the sump shall not be less than 150mm regardless of the position of the normal outlet. Changes in depth of sump are not required provided the sump, side overflow device is used.

f) The normal outlet may be moved longitudinally to clear the overflow channel to enable better inspection and maintenance access. The outlet shall not be moved laterally to cross the longitudinal centre line of the overflow device.

g) box gutters shall

1: be straight without change of direction.

2: have a horizontal constant width base (sole) with vertical sides in a cross section.

3: have a constant longitudinal slope between 1:200 and 1:40

4: discharge at the down stream end without change of direction.(ie not to the side ) and

5: be sealed to the rain heads and sump.

3.7.8 down pipes

Down pipes shall be atleast 90mm in diameter or 100mm x 50mm rectangular down pipe , be fitted vertically to the base of a rain head or sump and discharge to

A) a rain head or sump of a lower gutter or

B) a surface water drainage system with the capacity to convey run off from a storm event in accordance with table 3.3.4

**Recommendation:** If [redacted] are following different compliance method for box gutters and overflow requirements please advise what Australian standard or DTS solution is being given used.



**Location:** Flashing to lower roof/ box gutter location.

**Details:** Flashing is not installed behind the cladding as required.

Flashing not in bedded into masonry as required.

All flashing must lap by 75mm minimum and walk flashing must be integrated into the masonry. Compression flashing can be used but must comply with HB39 and have 100mm fixings max spacings.

Snippet from NCC below.

#### 3.5.1.7 Flashings and cappings

A) sheet metal roof flashings and cappings must comply with the following .

I) Roof flashings and cappings must be purpose made, machine folded sheet metal sections of material compatible with all up and downstream metal roof covering materials in accordance with 3.5.1.2(b)

II) The type of fasteners for flashing and cappings must comply with 3.5.1.5

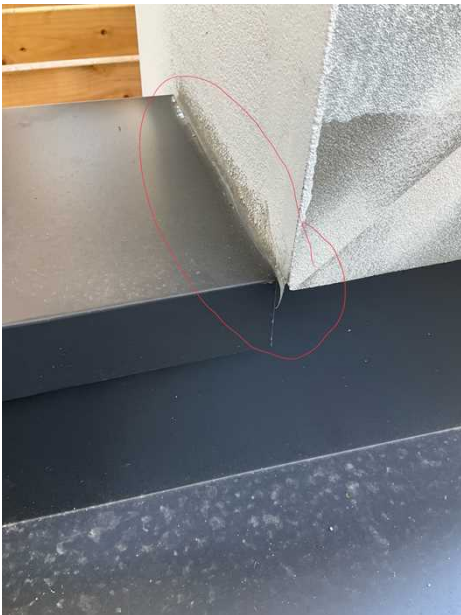
III) The fasteners and fixings frequency for flashings and cappings must comply with table 3.5.1.5

IV) joints in flashings and cappings must be not less than 75mm, lapped in the direction of the fall of the roof, and fastened at intervals not more than 40mm.

V) wall and step flashing must be fastened into masonry walls with galvanised or zinc/aluminium sheet metal wedges at each end of each length and at intermediate intervals of not more than 500mm and must overlap by not less than 75mm in the direction of flow.

**Recommendation:** Flashing to be fixed to comply with NCC requirements





**Location:** Front lower roof.

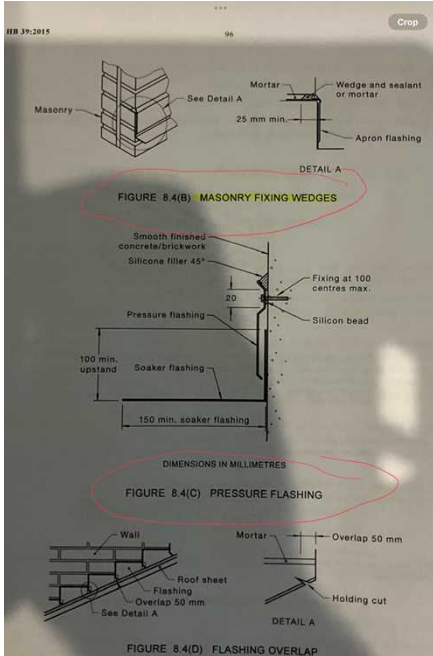
**Details:** Capping flashing wall junctions.

Primarily method to prevent water ingress is silicon.

This should have an over flashing/wall flashing/saddle flashing design in place.

Yes these junctions are difficult to integrate and design whilst trying to comply with the NCC requirements.

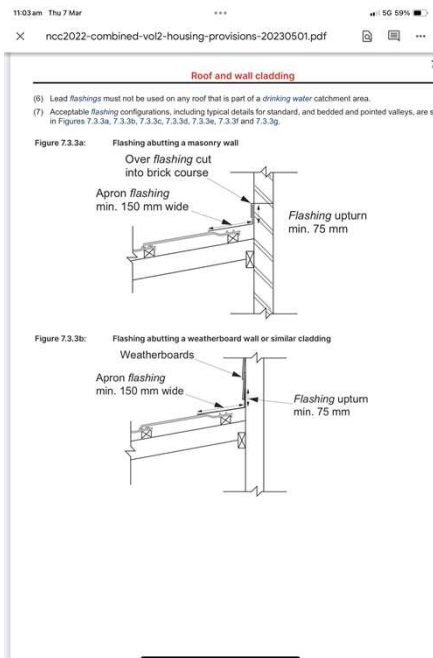
**Recommendation:** Recommend installing an overflashing cut into masonry or pressure flashing complying with HB39.



**Location:** Examples image designs from HB39 and NCC for cladding and wall flashing designs.

**Details:**

**Recommendation:** Builder to review flashing design to ensure silicone is not the primary method to prevent water ingress with roof cavity.





**Location:** Example of onsite finishes.

**Details:**

**Recommendation:**





**Location:** Parapet capping, flashing joints.

**Details:** Fixings are insufficient. Minimum fixings should be 40mm apart.

#### 3.5.1.7 Flashings and cappings

IV) joints in flashings and cappings must be not less than 75mm, lapped in the direction of the fall of the roof, and fastened at intervals not more than 40mm.

**Recommendation:** Additional fixings at no more than 40mm spacings required.





**Location:** Left side of property.lower roof detail.

**Details:** Bricks have been cut and modified to fit lower roof.  
On completion attention to be drawn to flashing design over brick work etc.

**Recommendation:** to review final detail ensuring no water penetration is possible.



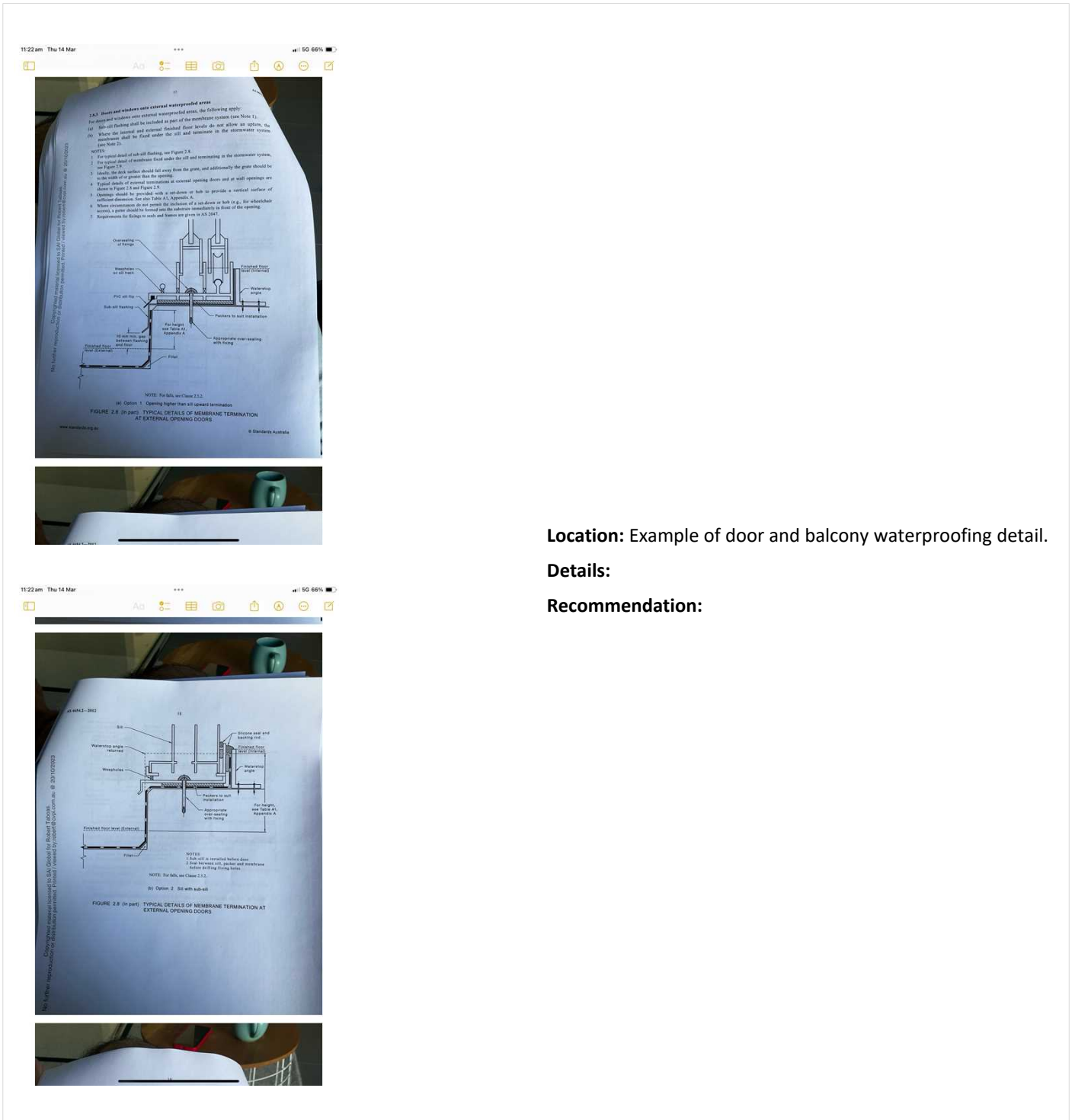


**Location:** Balcony are incomplete. Require waterproofing to subsill as per next images.

**Details:** No defects yet. Just comment for future works.

**Recommendation:** Make note the balcony require an overflow to be installed.





**Location:** Example of door and balcony waterproofing detail.

**Details:**

**Recommendation:**

**CONCLUSION**

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

**Builder to address all issues prior to tiling.  
Provide evidence of repairs and rewaterproofing of all bathrooms, ensuites and powder rooms.**

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**All other defects for roofing and flashing to be addressed. Any disagreements with our defects H and H to provide details on how it is compliant ie, what clause, standards or NCC requirements.**

**IMPORTANT NOTES**

**PROPERTY REPORT - IMPORTANT NOTE**

Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

ADDITIONAL COMMENTS	
ADDITIONAL INSPECTIONS RECOMMENDED	Practical Completion Inspection

**ANNEXURES TO THIS REPORT**

Annexures to this report	No annexures to this report
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**CERTIFICATION**

This document certifies that the property described in this Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report.

Inspector Name:	Robert Taboas
Licence Number:	Builders Licence 211725C Pest Management Licence 5074237
Inspector Phone:	
Inspector Email	
Authorised Signatory:	
Date of Issue:	

**REFERENCES & GENERAL NOTATIONS on Australian Standards & Reporting Qualification: *If applicable***

- Australian Standards:** "AS:3700 & AS:4773.1 & AS:4773.2 Masonry
- Bricks Size:** The manufacturers of bricks aim to achieve the overall dimension to their as advertised brick sizes being 230mm x 75mm x 110mm. From time to time bricks may differ in size up to 3mm making it inconsistent for the bricklaying trades. This size inconsistency causes out of plumb perp joints, differing sizes of perp joints and even discrepancies in bed jointing. This is common and is not a defect nor does it contribute to a loss unless otherwise so stated. I have taken this and general brick sizes into consideration when conducting my inspection of this dwelling.



3. **Chipped Bricks:** By "Brick Manufacturers" in general: *"What if my products are damaged or the order is not correct?"*  
*All damages and irregularities must be notified within 2 working days of the delivery. You must notify us (the brick supplier) of the exact amount missing or damaged and replacements will be sent on the next available delivery. It may be necessary for us to send out a representative to approve the replacements. Due to the nature of the goods it is acceptable to have between 3-5% wastage, these can be used for cuts. If on first inspection you notice that there are damages, please indicate this on the driver's paperwork"*
4. **What to do with Chipped Bricks:** In the event chips on the brick surface exposed faces are chipped greater than 8mm the "NAWKAW can be utilised to rectify this issue, it is not a defect but damage during installation.
5. **What to do with Odd Coloured Bricks or wrongly Blended Coloured Bricks:** In this event "NAWKAW can be utilised to rectify this issue, it is not a defect but inconsistent works by the bricklaying trades installation.
6. **NAWKAW.** [www.nawkaw.com.au](http://www.nawkaw.com.au) **any type of masonry or concrete walling, any colour.**  
Nawkaw technology can change any type of concrete and masonry to virtually any colour imaginable. Our Nawkaw colour systems, penetrate concrete and masonry walling surfaces and won't crack or peel like paints. It will withstand rain and extreme temperatures, and is UV resistant, so the results are long-lasting and allows a cost-effective simulation of high-end architectural finishes with visually stunning results.
7. **Brick Line:** The top edge of the horizontal brick courses is intended to be straight and the bottom edges will at times be out of line due to the discrepancies in brick sizes. This is not a defect unless the top edge is out of line.
8. **Alignment:** Brick piers on patios and alfresco areas, can at times be out of line due to brick sizes; however out of square and or overhanging more than 1/3<sup>rd</sup> of the brick width is deemed works to be rectified and re-laid with due care and skill. Should brick base courses and or piers by overhanging more than 1/3<sup>rd</sup> of its width then a Structural Engineer is to design an alternative solution for rectification support.
9. **Weep Holes:** As per AS4773, weep holes may be omitted under brick windowsills
10. **Ref to AS:3700-2018 states: (Tolerances)**  
**(Horizontal) Bed joints** must be a nominal; of 10mm then + or - 3mm = **7mm minimum to 13mm maximum,**  
**(Vertical) Perp joints** must be a nominal; 10mm then + or - 5mm = **5mm minimum to 20mm maximum,**  
**(Face of Bricks) Lipping = no more than 3mm.**
11. Residential construction inspections must be carried out by Qualified, Insured and Licenced Builder's to ensure the credibility of the intended purpose of the inspection as instructed. Other qualifications may include but are not limited to Cert IV in building and construction, a Structural Engineer, diploma and building and construction and or being an Architect.
12. However, NOTE from the NSW Office of Fair-Trading website, excerpt below:  
***"Building Consultancy"***  
***"Effective 16 September 2009, building consultancy work is no longer regulated under the Home Building Act in NSW. This means that building consultancy related to Pre-Purchase Inspections AS4349.1-2007 work is no longer licensed by Fair Trading. This action was taken in response to a Council of Australian Government's (COAG) commitment to rationalize/downsize occupational licensing across Australia to cut the red tape"***
13. This inspection carried out by Clear View Property Inspections is not building consultancy, it is a qualified inspection that is required to check and confirm compliance, what is a defect etc, what is incomplete works and what if any, is a breach of the warranty conditions under the NSW Home Building Act 1989.
14. Unqualified and advocated opinions are not party to our inspection processes or to any construction compliance confirmation.



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15. **Paint finishes:** All paint finishes are to be completed with Due Care and Skill, coverage of surfaces is to be applied as per the contract specifications and relevant Australia Standards. In the event this is not the case it is essential a complete paint finish assessment be carried out where all surfaces are marked up and noted in an expert report so the builder can complete as intended.

Paint finishes are sometimes marked up by an unqualified eye that creates an illusion of defective works.

Separation of building finishing elements are incomplete works and are not defective, thus the builder MUST complete with due care and skill.

Surfaces must only be marked up and numbered that prove to be a breach and not just an unqualified opinion.

16. Any allegations or issues in the future that may refer to The NSW Guide to Standards & Tolerances should only be used as guidance on areas of building standards that are not covered by legislation. The Guide can be used to help resolve building disputes about quality and standards of work. However, it should be understood that this document is intended as a guide only, all other documents stating statutory and contractual requirements take precedence over the guide. (refer A Introduction of the NSW Guide to Standard and Tolerances)

17. We **will not** enter any unqualified and inconclusive discussions. An alleged defect must be backed up with proof as to why it is a defect.

18. **Building Inspection Reporting:**

Reports defining defects must always attribute to page numbering and referencing with the alleged defect categorised to define into “what” the defect is, “why” it is a defect and “where” the defect is located.

19. **Photos in Inspection Reporting:**

Reports must contain photographic evidence for difficult situations where further explanations are required. All such photos, singular or collectively, must have a description.

20. **Strata Reporting:** (if applicable)

This report does not relate to any Strata Laws or By Laws required by the occupant.

21. **Clients Lists:** (if applicable)

A list of alleged issues will be reviewed only. One list is to be provided and not to be added on. Upon CVPI review we will assess each item on its statute, code and or standard required. Warranties are applied upon completion of your dwelling and “1” (one) list only is to be provided to your builder at the end of the warranty period so you home can be completed as intended.

22. **WARRANTY:** The Home Building Act warranty is 2 years non-structural and 6 years structural.

23. **PCA:**

The PCA, “Principal Certifying Authority is contracted to by the builder.

Their role is to assess and delivery compliance to Standards and Codes that they all have been met prior to the issuance of the (OC) Occupation Certificate.

If not met the PCA is responsible to explain why not!

Certificates of compliance are issued to the PCA only as a means of assuring some trades have complied like Plumbers, Electricals, Waterproofing, Site Drainage and Engineering and alike.

24. **Cleaning Brickwork: Ref doc, “Think Brick Australia” Industry reference guide, 5<sup>th</sup> Edition: Section 4:**  
Using high pressure water.



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Cleaning brickwork with high pressure water can be effective but failure may occur if the operator:

- 1/ Increases the acid content,
- 2/ Moves the nozzle too close to the wall,
- 3/ Increases the water pressure,
- 4/ Reduces the spray angle and/or,
- 5/ Uses a turbo head nozzle

Any of these may cause damage requiring costly repairs.

The last four points can lead to erosion or 'blowout' of the mortar joints and may even erode the brick face, particularly of dry-pressed bricks.

If high-pressure water cleaning is to be used, specify a minimum nozzle angle of 15 degrees, maximum pressure of 7000 to 8000 kPa (1000 to 1200 psi) and a preferred operating distance of 500 mm and never less than 300 mm. Supervision is essential.

Some mortar dags will resist even a high-pressure spray and should be removed with a scraper prior to cleaning.

25. **Mortar:**

Brickwork mortar, must be of a mix consistency of 5 sand and 1 cement (5-1), if a 6-1 mix is used then blowouts will be imminent to the brick mortar and a 4-1 mix is very hard and will cause possible damage to the brick face trying to remove excess mortar

26. **Brick Acid Burn:**

Brickwork when cleaned using excessive acid will cause burning and iron oxide staining to the brick faces and give the appearance of staining and discolouring.  
Iron oxide stains frequently resultant from the use of hydrochloric acid on clay masonry.

### **NEW CONSTRUCTION CERTIFICATES AND WARRANTIES**

**The following Certificates and or Warranties are to be provided to the homeowner (Check with your Builder for relevant ones)**

1. **TERMITE TREATMENT NOTICE:** The pest treatment type used in this construction. Clear directions must be shown in relation to annual inspections. (A Termite treatment notice **must be evident** within the meter box unit, which **MUST BE** followed by you the homeowner)
  2. Engineer's certification for the concrete slab's reinforcement, that the designed building is as executed on the approved Engineer's plans, contours are followed, and all structural steelwork & LVL timber beams, and property retaining walls (if installed)
  3. Hydraulic Engineer's design and certification for any detention pits or tanks and the home and G/Flat is built as executed as per the approved designs and the Engineer's plans, PL levels have been followed (as installed) and for relevant site surface drainage. (*if applicable to this property*)
  4. Geotechnical Engineer's certification for the site's soil classification and the fact the slab design complies with such site classification,
  5. Frame and Truss manufacturer's Certification for bracing layouts and the timber type used. (*Same applies for steel frames.*) (**NOTE: Metal braces in cavities will at times rattle if knocked, NO defect**)
  6. Home Compensation Fund Insurance Certificate. (*This certificate must show the same amount as per the builder contract*)
  7. Final Survey document. (*This document to state boundary dimensions and side boundary distances.*)
  8. Interim and or Final Occupation Certificate. (All of the PCA's/Council's stage inspection certificates should accompany this OC or the OC must state that all stage inspection certificates have been sited.)
  9. Wet area, (balcony, *if applicable*) and Waterproofing warranties and compliance Certification.
  10. Plumber's Certificate of Compliance for Plumbing, Drainage, Metal Roofing (*if applicable*) and all Site Surface Overflow Drainage in compliance with AS: 2870 and works have been carried out as per the contract documentation, (*if applicable*).
  11. Electrician's Certificate of Compliance, (Meter Box installation) and Smoke Alarm Certification and works have been carried out as per the contract documentation.
- New Construction Stage Inspection Report.



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12. Shower Screen's Glazing Certificate.
13. BaSIX Certificate: Installation of the *as contracted* wall and or ceiling insulation, the exhaust fans and range hoods to comply with *BaSIX* requirements as was originally certified. (The insulation, installation also to comply with the requirements around any installed ceiling downlights and any fitted exhaust fan units.)
14. BAL Fire rating certification (*If applicable to this property*)
15. Window and door manufacturer certification that a final adjustment has been carried out prior to handover to doors and windows as intended.
16. Wall and or Ceiling insulation, installation certification that the insulation installed in this dwelling complies with the relevant Australian Standards. (CERTIFICATE TO BE PROVIDED)