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PROPERTY & TIMBER PEST REPORT AS4349.1-2007 & AS4349.3-2010



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Report Number	
Inspection Date	
Property Address	

SERVICE

As requested and agreed with the Client, the inspection carried out by the Building Consultant and Timber Pest Detection Consultant is a Property & Timber Pest Report comprising a Property Report & Timber Pest Report

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

"Timber Pest Detection Consultant" means person who meets the minimum skills requirements set out in the current Australian Standard AS4349.3 Inspections of Buildings.Part3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this standard, where applicable

This Property & Timber Pest Report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

TERMS ON WHICH THIS REPORT WAS PREPARED

PROPERTY REPORT

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

(a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.

(b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).

(c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.

(d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.



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"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Secondary Elements" means those parts of the building not providing loadbearing capacity to the Structure, or those nonessential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors

"Finishing Elements" means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

"Minor Defect" means defect other than a Major Defect.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Tests" means where appropriate the carrying out of tests using the following procedures and instruments:

(a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

(b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

(a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and

(b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. A visual only inspection may be of limited use to the Client, particularly where the cause/source of a defect cannot be determined by visible inspection only. In addition to a visual inspection and in order to thoroughly inspect the Readily Accessible Areas of the property the consultant may carry out necessary non invasive tests.

2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).

3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.

4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

5. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.

6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.



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EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

TIMBER PEST REPORT

The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site (see Note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected

"Timber Pest Attack" means Timber Pest Activity and/or Timber Pest Damage.

"Timber Pest Activity" means tell-tale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

"Timber Pest Damage" means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests

"Major Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Conditions Conducive to Timber Pest Attack" means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

"Timber Pests" means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

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- (a) Chemical Delignification-the breakdown of timber through chemical action.
 - (b) Fungal Decay- the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
 - (c) Wood Borers- wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.
 - (d) Termites- wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.
- "Tests" means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible Timbers/materials/areas showing evidence of attack was performed.
- "Instrument Testing" means where appropriate the carrying out of Tests using the following techniques and instruments:
- (a) electronic moisture detecting meter- an instrument used for assessing the moisture content of building elements;
 - (b) stethoscope- an instrument used to hear sounds made by termites within the building elements;
 - (c) probing- a technique where timber and other materials/areas are penetrated with sharp instrument (e.g bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and tress; and
 - (d) sounding- a technique where timber is tapped with a solid object.

"Subterranean Termite Management Proposal" A written proposal in accordance with Australian Standard AS3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

ACCEPTANCE CRITERIA

Unless noted in "Special conditions or instructions", the building being inspected was compared with a similar building. To the Consultants knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation

Unless noted in "Special Conditions or Instructions", this Report assumes that the existing use of the building will continue

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and weather or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The client acknowledges:

Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.

2. The inspection only covered the Readily Accessible Areas of the Building Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include -but are not limited to- roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, sorted articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

3. The inspection WILL NOT involve any invasive inspection including cutting, breaking apart, dismantling, removing or moving objects including, but not limited to, roofing, wall and ceiling sheeting, ducting, foliage, mouldings, debris, roof insulation, sarking, sisalation, floor or wall coverings, sidings, fixtures, floors, pavers, furnishings, appliances, or personal possessions.

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4. The inspector CANNOT see or inspect inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. Insulation in the roof void may conceal the ceiling timbers and make inspection of the area unsafe. The inspector WILL NOT dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into.

5. If the property to be inspected is occupied then You should be aware that furnishings or household items may be concealing evidence of Timber Pests, which may only be revealed when the items are moved or removed. In some cases the concealment may be deliberate. If You are the purchaser and not the owner of the property to be inspected then You should obtain a statement from the owner as to any timber pest activity or damage to the property known to them and what, if any, treatments have been carried out to the property. It is important to obtain copies of any paperwork issued and the details of any repairs carried out. Ideally the information obtained should be given to the inspector prior to the inspection being conducted.

6. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. They are excluded from the inspection.

7. In the case of Pre-purchase Timber Pest Inspections or Timber Pest Inspections in accord with AS 4349.3-2010 the inspection and resulting Report will be confined to reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (rot), present on the date and time of the inspection.

8. In both cases the inspection will not cover any other pests and the Report will not comment on them. Dry wood termites (Family: KALOTERMITIDAE) and European House Borer (*Hylotrupes bujulus* Linnaeus) will be excluded from the inspection. If *Cryptotermes brevis* (West Indian Dry Wood Termite) or *Hylotrupes bujulus* Linnaeus are discovered, we are required by law to notify Government Authorities. If reported a special purpose report may be necessary.

9. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.

10. If the inspection was limited to any particular type(s) of timber pest (e.g., subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.

11. This report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g., toxic mould) or occupational, health and safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be taken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.

12. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by a third party.

EXCLUSIONS

This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification, or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

Special Conditions

Special conditions or instructions	No
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The parties

Pre-engagement inspection agreement number:	
Name of Client:	



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Address of Client:	
Client's email:	
Client's telephone number:	

SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

PROPERTY REPORT - SUMMARY

In respect of significant items:

Evidence of Serious Safety Hazards	No evidence was found
Evidence of Major Defects	Was observed
Evidence of Minor Defects	There were a few minor defects found
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	Moderate to High

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".	Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration., Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration
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TIMBER PEST REPORT - SUMMARY

In respect of significant items:

Evidence of active (live) termites	No activity was found
Evidence of termite activity (including workings) or damage	No evidence was found
Evidence of a possible previous termite management program	No evidence was found
The next inspection to help detect any future termite attack is recommended in	1 Month
Evidence of chemical delignification damage	No evidence was found
Evidence of fungal decay activity and/or damage	Yes - evidence was found
Evidence of wood borer activity and/or damage	No evidence was found
Evidence of conditions conducive to timber pest attack	Yes
Evidence of major safety hazards	No evidence was found



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Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered

Moderate to High

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost. Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section G "Important Notes".

No termite management system identified

SECTION B GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

GENERAL DESCRIPTION OF THE PROPERTY

Residential building type:	Freestanding property
Number of storeys:	Single
Approximate building age:	120 Year/s
Approximate year when the property was extended:	NA
Smoke detectors:	1 fitted but not tested
Siting of the building:	Towards the front of a medium block
Gradient:	The land is sloping
Site drainage:	The site appears poorly drained
Access:	Easy pedestrian and vehicular access
Main utility services connected	Electricity, Gas, Sewerage, Water
Occupancy status:	Unoccupied but fully furnished
Orientation (to establish the way the property was viewed):	The façade of the building faces west
Prevailing weather conditions at the time of inspection:	Dry

PRIMARY METHOD OF CONSTRUCTION



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Main Building - floor construction	Brick Piers, Suspended timber frame with parts suspended slab, Floorboards
Main Building - wall construction	Cavity Brick
Main Building - roof construction	Timber framed, Finished with roofing tiles, Finished with slate roofing, Finished with Sheet Metal roofing
Other timber building elements	Architraves, Skirtings, Window Frames, Doors, Pergola, Facia Board, Gable ends, Flooring, Cabinets
Additional Details	
Overall standard of construction	Poor
Overall quality of workmanship and materials	Poor
Level of maintenance	Poorly maintained

INCOMPLETE CONSTRUCTION

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with the construction noted (but does not include building services)?	No evidence found
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Note: This is only a general observation / comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

ACCOMMODATION AND SIGNIFICANT ANCILLIARIES

Room Type: Living Rooms	Quantity: 2
Room Type: Bedrooms	Quantity: 3
Room Type: Bathroom / Ensuite	Quantity: 2
Room Type: Kitchen	Quantity: 1
Room Type: Laundry	Quantity: 1

PARKING

Attached Garage :	Quantity: 1 unattached
Unattached Carport:	Quantity: 0

SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, and are accessible by the safe use of a 3.6m ladder placed on the ground or floor level, in roof spaces where the minimum area of accessibility is not less

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than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry.

(a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and

(b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

AREAS INSPECTED

The inspection covered the Readily Accessible Areas of the property	Building Interior, Building Exterior, Roof Exterior, Roof Space, Site including fences
Additional comments	No inspection to parts of the subfloor area due to accessibility, + No access under subfloor. Only access under living room. Garage was locked.

STRATA OR COMPANY TITLE PROPERTIES

Was the inspection of a strata or company title property (eg a home unit or townhouse)?	Not Applicable
Was the inspection limited to assessing the interior or exterior of a particular unit?	Not Applicable
Additional comments:	No inspection to common property as per Australian Standards. Matters in relation to common property require further investigation through body corporate. Strongly recommend clients solicitor make the necessary enquiries relating to the type of body corporate title which pertains to this property as this will have a bearing on repairs and maintenance responsibilities, before contract becoming binding.

OBSTRUCTIONS

Were there any obstructions that may conceal possible defects?	The following obstructions may conceal defects
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OBSTRUCTION PHOTOS



Showing example of landscaping and gardens



+ Example of blocked access to entire subfloor by ac ductwork



Showing example of furniture and stored goods throughout property



Showing example of furniture and stored goods throughout property



Showing example of furniture and stored goods throughout property



Showing example of furniture and stored goods throughout property

INACCESSIBLE AREAS

Were there any normally accessible areas that did not permit entry?

Yes there was areas not accessible. No access to garage. Locked.



+ Showing no access to garage.

UNDETECTED DEFECT RISK ASSESSMENT

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:	Moderate to High
A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.	
Additional Comments:	Recommend invasive inspection to areas with wood rot or signs of water leaks to determine if there is concealed damage., Recommend further inspection once vacant and obstructions removed., Recommend further invasive inspection to areas of high moisture to determine if there is any concealed damage

SECTION D PROPERTY REPORT

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note')

SERIOUS SAFETY HAZARDS

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard	No evidence was found
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INSIDE CONDITION - MAJOR DEFECTS

1. Ceilings	The following evidence of Major Defects was found
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CEILINGS PHOTOS



Movement cracks to ceiling/cornice- recommend engaging a plasterer for repairs to prevent further deterioration., + Severe cracking to ceiling and walls in bedroom 2.
Clear evidence of patch work completed to hide defects.
Large gaps to cornice and wall.
Major movement evident.
Recommend engaging a structural engineer for advice to control and prevent further deterioration.



Sagging ceiling lining. Engage plasterer for repairs to prevent further deterioration., + Bedroom 1 has a bulge in the ceiling. Likely large crack and ceiling is sagging in this area.
Ceilings of this age are at the end of there lifespan and require ongoing maintenance or replacement.
House has foundation movement and floors are sinking which adds to the ceiling movement causing cracks and delaminating.
Recommend engaging engineer for advice to prevent and control further deterioration.



Cracking to ceiling- recommend engaging a plaster to repair/replace as required to prevent further deterioration., Sagging ceiling lining. Engage plasterer for repairs to prevent further deterioration., + Located in living space. Movement crack is and sagging ceilings in parts of the ceiling evident.



+ Example of repaired movement cracks to ceiling. Located in dining area.

Ceilings throughout the homes have cracks throughout which have been recently repaired and painted.

Cracks will return in the near future.



+ Difficult to see as cracks have been repaired. Example of cracks in bedroom 3 ceiling.



+ Major cracks and ceiling sagging to ceiling in kitchen. As per other rooms. Ceiling is 120 years old and reached its life span. Home has major foundation movement. Will require ongoing maintenance to control cracking.



+ Ceiling in laundry bathroom has been replaced in the past. Evidence of large crack which has been repaired. This aligns with the movement of the foundations causing cracks throughout ceilings, walls and undulated flooring.

Will require engineer advice to prevent further deterioration.



+ Example of poorly repaired timber ceiling in study.

Timber is likely wood decayed.

2. Internal Walls

The following evidence of Major Defects was found

INTERNAL WALLS PHOTOS



+ Major cracks to wall in corridor. Entrance to kitchen.
Has been repaired but is in quite bad condition.
Engage engineer for advice to prevent further deterioration.



Wide cracks identified to parts of the walls.
Engage Structural engineer for advice to prevent further deterioration., + Bedroom 2, major cracking evident, sagging walls and floors.
Has been repaired but is extremely noticeable.



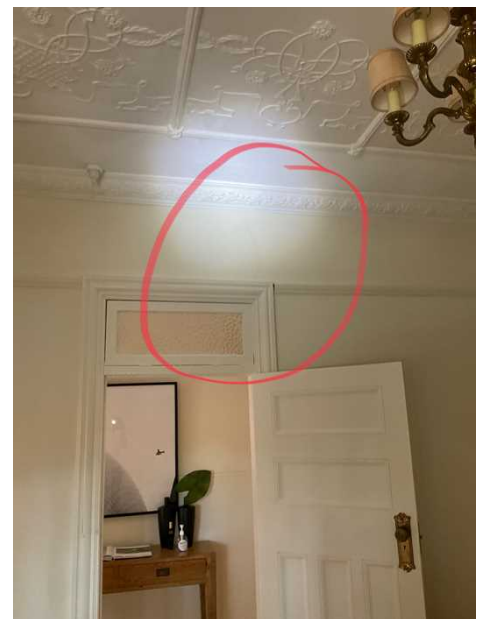
+ Example of cracking to bedroom 2. Covered up to hide cracks.



+ Example of cracking to wall in corridor leading to main bathroom. As per all cracks they have been covered up to hide cracks for the sale of the property.



+ Example of major cracking to bedroom 3 wall.



+ Example of cracking to bedroom 1.



+ Example of cracking to living room.



+ Example of cracking to living room above fireplace.



+ Example of cracking to dining room.
Cracks recently repaired but will return in the near future.



+ Example of cracks to kitchen. As per most cracks in the house they have tried to cover up. These are major cracks and will return in the near future.

3. Floors

The following evidence of Major Defects was found

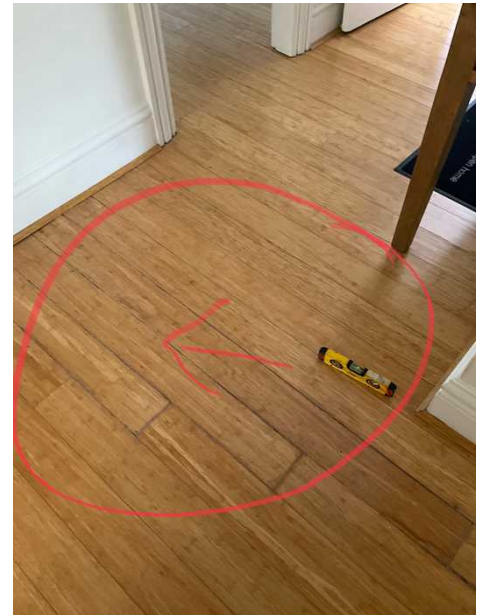
FLOORS PHOTOS



+ Flooring or floor joist has no support to underside. Floor movement very evident. Likely cause by sagging or leaning piers. Entire house has undulated flooring. Engage engineer and seek advice to prevent further deterioration.



Undulating/uneven floors- recommend engaging a builder for rectification to prevent further deterioration., + Located at corridor of bathroom and bedroom 3.



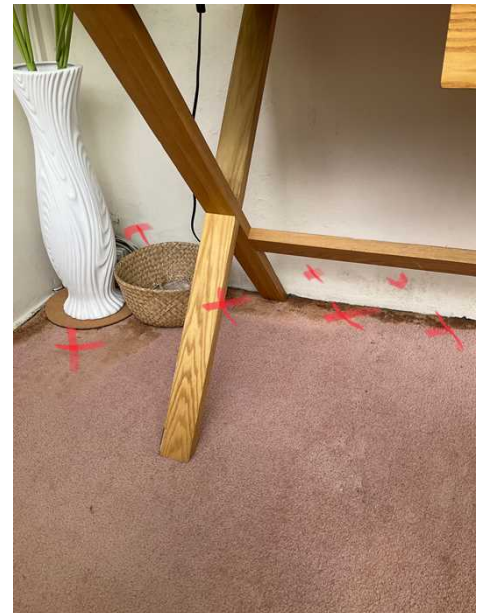
Undulating/uneven floors- recommend engaging a builder for rectification to prevent further deterioration., + Located at corridor between bedroom 1 and dining.



+ Flooring to sunroom and study has major fall. Engage builder or engineer for advice.



+ Example of fall in sunroom and study floor.



+ Moisture damage to carpets in study. Was dry at the time of inspection. Engage builder for water test to identify cause to prevent further water ingress and damage.



+ Sagging floors in kitchen, also high moisture readings to lower walls and floors in this area.

Engage builder to gain access to subfloor for further advice.

Engage engineer for advice to control the undulated flooring to prevent further deterioration.

4. Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)

No evidence of Major Defects was found

5. Built-in fittings (built in kitchen and other fittings, not including the appliances)

The following evidence of Major Defects was found

BUILT-IN FITTINGS PHOTOS



+ Cabinets to kitchen are old and moisture damaged. they have been given a coat of paint to hide deterioration. Missing doors. Will require replacement in the near future.



+ Unsealed Tap hardware within wall. Engage joint sealer to seal gaps to prevent water ingress within walls. Engage plumber to replace seals in taps to stop leaking taps.



+ Water damaged top to kitchen. Swelling visible. Engage carpenter for replacement to prevent further deterioration.



+ Example of kitchen door falling off when I opened it. Timbers are old and deteriorated. Complete new kitchen required in the very near future.

6. Bathroom fittings

The following evidence of Major Defects was found

BATHROOM FITTINGS PHOTOS
Property & Timber Pest Report.



Water damage to vanity, recommend carpenter to repair/replace to prevent further deterioration., + Moisture damage to bathroom/laundry vanity.



+ Moisture damage to shaving cabinet in bathroom/laundry.



High moisture readings to areas. Recommend engaging a builder for invasive inspection to determine moisture source., + High moisture readings to Laundry/bathroom shower walls.

May be due to failed waterproofing or rising damp.

There may be damage to subfloor Timbers in this area.

No access to subfloor.

Will require invasive inspection to identify cause,



+ High moisture readings to bathroom walls.
Moisture damage evident to walls and cracking.
Unable to access subfloor for further inspection.
There maybe damage to subfloor Timbers in this area.
Engage builder for further invasive inspection to help identify cause and remedial works.



+ Main bathroom shower rags no shower screen,
Water from shower is not contained in shower.
Requires shower screen to control water.
Waterproofing is undetermined. This bathroom should have waterproofing to entire floor.
Requires subfloor access for further advice.

7. Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	No evidence of Major Defects was found
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8. Roof Space	The following evidence of Major Defects was found
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ROOF SPACE PHOTOS



+ Rusted corrugated sheets above kitchen ,
bedroom 2 and Laundry.
Undetermined if any water ingress during rain.
Engage roofer for water testing. Likely to require
replacement in the near future.



+ Plastic installed to what seems to be a way to
control water ingress.
Engage roofer for water testing to identify leaks
and do suitable repaired to prevent water ingress.

9. Sub floor

The following evidence of Major Defects was found

SUB-FLOOR PHOTOS



+ No access due to AC ducting blocking access
hole. On partial inspection under living room.
Property & Timber Pest Report.

10. External walls

The following evidence of Major Defects was found

EXTERNAL WALLS PHOTOS



+ Movement cracks to external brickwork and sandstone wall outside bedroom 2.

Engage engineer for advice to control and prevent further deterioration.



+ Example of movement cracks and brick overhang outside bedroom 2.



+ Mortar breakdown outside laundry external walls.

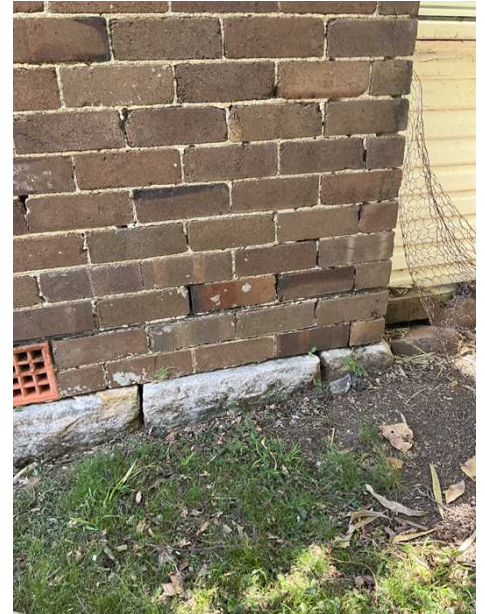
Engage bricklayer for repointing to prevent further deterioration.



Weathered timbers to areas. Recommend a carpenter to repair or replace as required to prevent further deterioration., + Has been poorly patched by the painter.



+ Example of more wood decay to sunroom walls. Engage carpenter for repairs to prevent further deterioration.



+ Mortar breakdown outside of bedroom 3. Engage bricklayer for repointing to prevent further deterioration.



+ Cracking to outside window of bedroom 2. Engage engineer for advice to prevent further deterioration.



+ Cracking to sandstone foundation walks. Engage engineer for advice to repair and prevent further deterioration.



+ Cracking and mortar breakdown to front porch brickwork. Engage bricklayer for repointing to prevent further deterioration.



+ Walks to garage are likely asbestos based. Ensure testing of lining is completed prior to any work or removal of sheets. Asbestos is life threatening and all care should be taken when working with this material.



+ Example of large crack above window of bedroom 2

11. Windows

The following evidence of Major Defects was found

WINDOWS PHOTOS



Broken window, recommend a glazier to replace the broken pane to prevent risk of personal injury and water penetration., + Sunroom location.



Weathered timbers to parts of the windows. Recommend a carpenter for repairs to prevent further deterioration., Cracked and missing putty to parts of the windows. Recommend a glazier to repair/replace to prevent further damage., + Sunroom location.



+ Example of weathered window frames to sunroom.



+ Example of some windows that do not open likely due to been glued with paint.

12. External Doors (including patio doors)

The following evidence of Major Defects was found

EXTERNAL DOORS PHOTOS



+ Rear sunroom door is weathered and deteriorated as is the door jamb. Extensive work required throughout to make good of sunroom.

13. Platforms (including verandas, patios, decks and the like)

The following evidence of Major Defects was found

PLATFORM PHOTOS



+ Cracking to porch stairs.
Engage engineer for advice to prevent and control further cracking.



+ Example of cracking to porch stairs. Engage engineer for advice to control and prevent further cracking.

14. External elements	The following evidence of Major Defects was found
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EXTERNAL ELEMENTS PHOTOS



Aged and deteriorated fascia- Engage a carpenter to repair/replace to prevent further deterioration and damage.



Aged and deteriorated fascia- Engage a carpenter to repair/replace to prevent further deterioration and damage., + Located at rear garage.



+ Example of weathered fascia.

15. External secondary and finishing elements

No evidence of Major Defects was found

16. Roof Exterior

The following evidence of Major Defects was found

ROOF EXTERIOR PHOTOS



Rust to parts of the roof. Recommend engaging a roofer for repairs to prevent further deterioration and damage., + Rear garage location.



+ Slate tiles have slid down and not providing protection in areas of the roof.
Engage specialised roofer for repairs to prevent water ingress.



+ Example of broken and missing slate tiles. Some tiles have been siliconed together,



+ Vegetation to roof on garage.
Engage roofer to clean and remove to prevent further deterioration of garage roof.



+ Example of drone images.
Roof looks aged and weathered.
Engage roofer for repairs and maintenance.



+ Example of cracked or chipped slate roofing. Some tiles have slide.
Engage roofer for full inspection and maintenance to prev water ingress.

17. Rainwater goods

The following evidence of Major Defects was found

RAINWATER GOODS PHOTOS



Parts of the gutters are missing downpipes. Recommend a plumber to rectify to reduce the risk of moisture issues., + Excess water to the property causes subsidence to footings, pavers and is generally the cause of sinking piers and cracking walls.
All down pipes should be connected to stormwater.



+ Example of no down pipes.



+ Example of no down pipes or gutters to rear garage.

18. The grounds

The following evidence of Major Defects was found

THE GROUNDS PHOTOS



+ Subsiding water heater.
Engage plumber to remove and install suitable base for water heater to prevent subsidence and leaning.



Poor surface drainage-recommend engaging a plumber to rectify ground water issues which can lead to foundation movement., Unevenness of the pavers. Recommend a landscaper for repairs as required to prevent personal injury to footing.



Cracked and uneven concrete. Engage concreter for repair/replacing to prevent further deterioration.

19. Walls and fences

The following evidence of Major Defects was found

WALLS AND FENCES PHOTOS



Leaning fence to areas-recommend engaging a fencer to repair and prevent further deterioration., Wood rot/fungal decay to fence-recommended engaging a fencer for repairs to prevent further deterioration

20. Outbuildings	No evidence of Major Defects was found
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21. Minor Defects Monitoring and normal maintenance must be carried out (see also Property Report Summary). How many minor defects were noted?	There were a few found
Comments on minor defects	A few doors need adjusting., A few windows need adjusting for smooth operation. Minor scuff marks and paint blemishes., Poorly painted/finished parts of the building., Some doors, windows and cabinets require adjusting. Some kitchen cabinets doors require adjustments for smooth operation.



Example of peeling vinyl flooring.



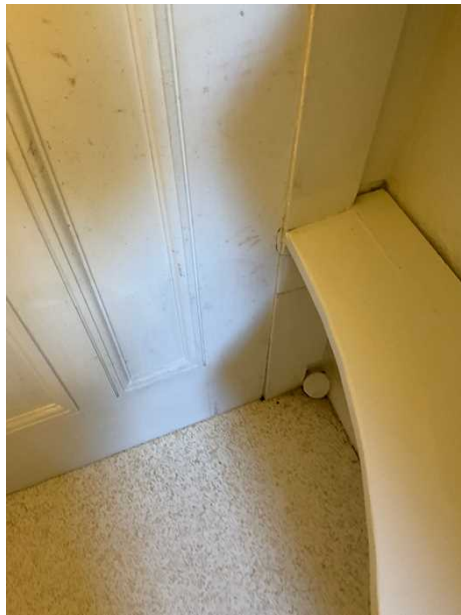
Example of doors requiring adjustment.



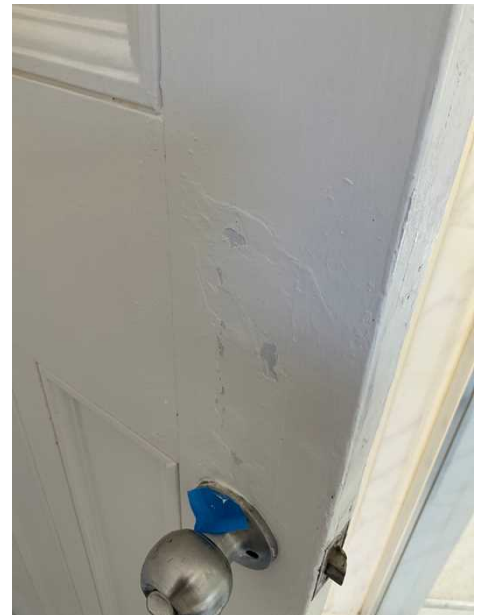
Example of missing doors to outbuilding.



Example of missing palings to fence.



Example of stains and scuff marks to walls, floors and doors.



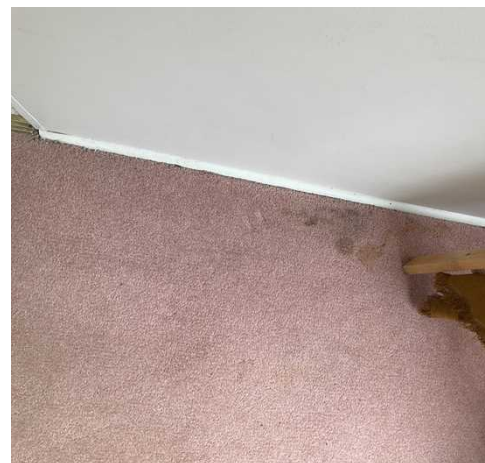
Example of poorly repaired and painted surfaces.



Example of broken toilet seat.



Example of cabinets requiring adjustment,



Example of carpet stains.

SECTION E TIMBER PEST REPORT

Where relevant the inspector may comment on an existing termite management program and whether it is current or expired. The inspector may also comment on the absence of any evidence of an existing termite management program. The inspector's observations of current termite management programs or otherwise does not guarantee the effectiveness of a property's existing termite treatment program. The following items were reported on in accordance with the Scope of Inspection

TIMBER PEST ATTACK

E1. Active (live) termites	No activity was found
E2. Subterranean termite management proposal	A proposal is recommended
Additional Comments	No termite management system identified
E3. Termite workings and/or damage	No evidence was found
E4. Previous termite management program	No evidence was found
E5. Frequency of future inspections. The next inspection to help determine termite attack is recommended in:	1 Month
E6. Chemical Delignification	No evidence was found

E7. Fungal decay	Yes - evidence was found
Location	Fascia Boards, Window surrounds
The extent of any visible damage appears:	Moderate
Additional Comments	Recommend further invasive inspection to areas of high moisture to determine if there is any concealed damage., Recommend invasive inspection to areas with wood rot or signs of water leaks to determine if there is concealed damage., Recommend engaging a carpenter to repair or replace or damaged timbers to prevent further deterioration., Ensure all exposed timbers are painted. Recommend a painter to rectify to maximise life expectancy of timbers.

FUNGAL DECAY PHOTOS



Example of wood rot to fascia boards.



Example of wood rot to window frames.



Example of wood decay to gable end.

E8. Wood Borers	No evidence was found
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CONDITIONS CONDUCTIVE TO TIMBER PEST ATTACK

The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

E9. Lack of adequate subfloor ventilation	No evidence was found
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The report cannot and does not make comment on defects that may have been concealed: the assessment of detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (e.g. in the case that shower recess tests may be made on a shower recess to detect leaks (if water is connected). The test may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of the inspection. Consequently, no evidence of a current

leak during an inspection does not necessarily mean that there is not a leak

E10. The presence of excessive moisture	Yes - evidence was found
Location	Bathroom walls, AC/Hot water tank overflows, Stormwater down pipes not connected., Poor surface/site drainage, + No access to subfloor
Additional Comments	AC/hot water discharge requires to be connected to drain to control excessive moisture, Engage a plumber to repair/connect gutters/downpipes to prevent excess stormwater to surface surrounds., Engage a builder for invasive inspection to identify bathroom leaks and rectify to prevent further damage.

EXCESSIVE MOISTURE PHOTOS



Example of high moisture reading to main bathroom walls,



Example of high moisture reading to laundry/ bathroom shower walls.



Example of no down pipes connected.
Moisture is conducive to termites.
It's important to prevent excess moisture around the property not to attract termites.



Example of hot water overflow.

E11. Bridging/breaching of termite barriers and inspection zones	No evidence was found
E12. Untreated or non durable timber used in a hazardous environment	No evidence was found
E13. Other conditions conducive to pest attack	No evidence was found

MAJOR SAFETY HAZARDS

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

Major Safety Hazards	No evidence was found
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CONCLUSION

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

PROPERTY REPORT

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Below Average
The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average



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In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Below Average
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TIMBER PEST REPORT

Treatment of Timber Pest Attack is required	No
In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is	Yes - Recommended
Removal of Conditions Conducive to Timber Pest Attack is necessary	Yes
Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended	1 Month

IMPORTANT NOTES

PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice. Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration. Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.

TIMBER PEST REPORT - RISK MANAGEMENT OPTIONS

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high-risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Recommend exposing a minimum of 75mm under weep holes

Recommend installing a chemical barrier immediately

Recommend contacting the termite management system installer to check if the installed system is still warranted. If it is not, recommend installing a chemical barrier immediately.

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian standard AS 3660. This may include the instillation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and that thorough regular inspections of the building are necessary.

ADDITIONAL COMMENTS	Gain access to subfloor.
ADDITIONAL INSPECTIONS RECOMMENDED	Electrical, Plumbing, Appliance Inspection, Structural Engineer, Asbestos Testing Invasive inspection for termites and damage to concealed and high moisture areas

ANNEXURES TO THIS REPORT

Annexures to this report	No annexures to this report
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CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Inspector Name:	Robert Taboas
Licence Number:	Builders Licence 211725C Pest Management Licence 5074237
Inspector Phone:	
Inspector Email	
Authorised Signatory:	
Date of Issue:	